

Rev	Issue	Date
01	Draft Issue to Town Planner	23/12/16
02	Development Application Issue	02/02/17
03	Issue for Section 4.55	18/09/18
04	Final issue for Section 4.55	24/09/18
05	Re-issued for Section 4.55	27/09/18
06	Re-issued for Section 4.55	01/10/18

Architectural

	DA11a	Building Height Plane Representation
1851.15	DA01	Cover Sheet
1851.15	DA02	Site & Roof Plan
1851.15	DA03	Basement 1 Floor Plan
1851.15	DA04	Level 1 Floor Plan
1851.15	DA05	Level 2 Floor Plan
1851.15	DA06	Level 3 Floor Plan
1851.15	DA07	Level 4 Floor Plan
1851.15	DA08	Level 5 Floor Plan
1851.15	DA09	Elevations
1851.15	DA10	Sections Sheet 1
1851.15	DA11	Sections Sheet 2
1851.15	DA12	Fence and Signage Elevations
1851.15	DA13	Recreational Area Calculations
1851.15	DA14	Shadow Diagram 22 June 9am, 12pm & 3pm
1851.15	DA15	Level 1 Demolition Plan
1851.15	DA16	Level 2 Demolition Plan
1851.15	DA17	Level 3 Demolition Plan
1851.15	DA18	External Finishes Schedule

Civil Drawing Schedule

C.01	Construction Notes
C.02	Excavation Plan
C.03	Excavation Sections & Details Sheet 1
C.04	Silt & Sedimentation Plan
C.06	Silt & Sedimentation Details

Stormwater Drawing Schedule

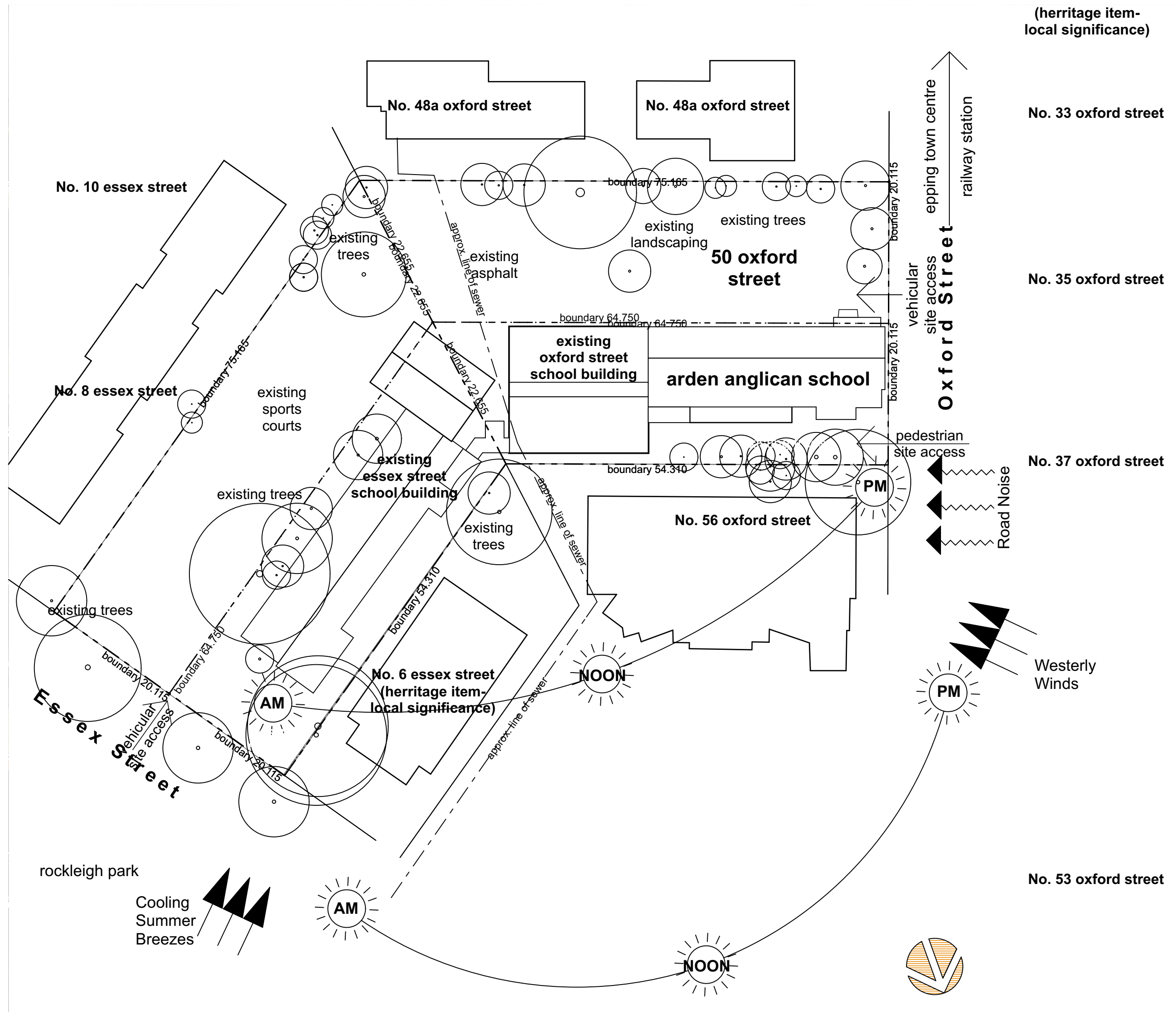
SW.1	Stormwater Concept Design Cover Sheet
SW.2	Existing Site
SW.3	Stormwater Catchment Plan
SW.10	Stormwater Concept Plan Sheet 1
SW.11	Stormwater Concept Plan Sheet 2
SW.100	Sections

Landscape Drawing Schedule

DA L01	Landscape Plan (page 1)
DA L02	Landscape Plan (page 2)
DA L03	Landscape Plan (page 3)
DA L04	Landscape Plan (page 4)

Survey Drawing Schedule

PR131742-001	Sheet 1 of 5
PR131742-001	Sheet 2 of 5
PR131742-001	Sheet 3 of 5
PR131742-001	Sheet 4 of 5
PR131742-001	Sheet 5 of 5



01 existing site analysis
1:500

0 5000 10 000 15 000 20 000 25 000 50 000
scale: 1:500 @A1

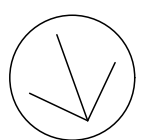


proposed essex street perspective (artist's impression only)

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New School Facilities

50 Oxford Street,
Epping, NSW

Drawn; CM
Checked; SE
Plot date; 2/10/18

Scale: 1:500 @ A1

Project No;
1851.15

Drawing No; DA01
Amendment#; 06

Cover Sheet

Legend (external work / site plan)
note: drawing may not contain all items listed below

- existing trees to be retained
- existing trees to be removed
- existing buildings
- tree protection zone (tpz) of retained trees
- extent of proposed work
- new landscaping
- new synthetic grass
- new hard surface playing court
- existing trees to be retained
- existing trees to be removed
- indicative new planting
- existing levels
- proposed levels
- existing fence to be removed
- new fence as specified
- adjusted contour line
- air conditioner condenser
- accessible
- air conditioner acoustic screen
- access panel
- awning roof
- balustrade
- broom finished concrete
- bollard
- bench seat
- column
- downpipe
- doorpost
- existing
- fascia detail
- security fence
- grated drain
- hose tap
- hydrant
- kerb ramp
- off form concrete
- pavers / pavement
- power pole
- retaining wall
- rainwater tank
- synthetic grass
- storm water pit
- top of wall
- waterproof membrane

ex.RL00.00 → existing levels
RL00.00 → proposed levels
--- new fence as specified
--- adjusted contour line

ac acs acc ap ar bal bfc bol bs col dp drip ex. fd sf ht hyd kr ofc pav pp pw rwt sg swp low wpm

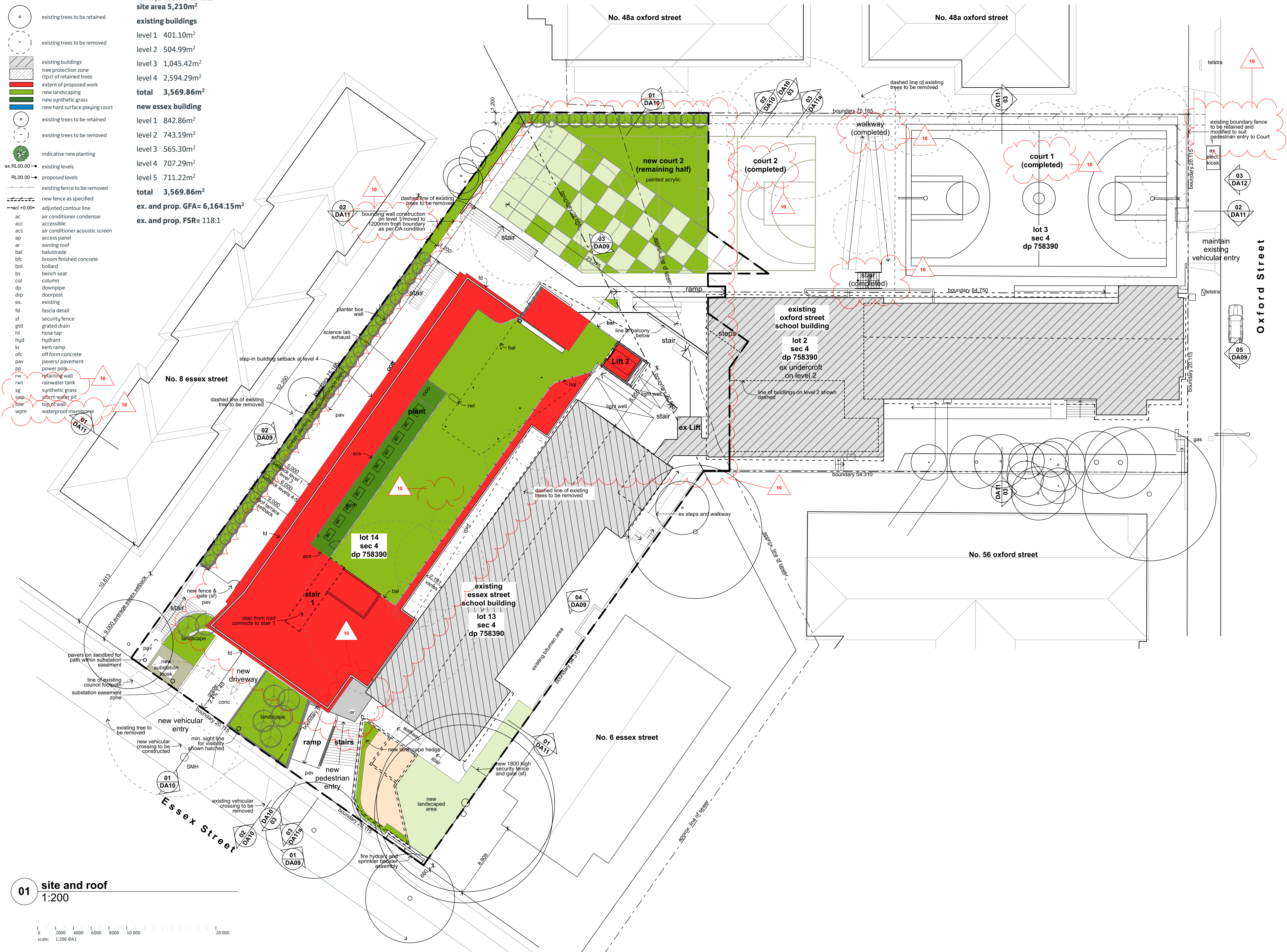
Gross Floor Area Calculations
Hornsby Shire Council LEP 2013
site area 5,210m²

existing buildings

level 1 401.10m²
level 2 504.99m²
level 3 1,045.42m²
level 4 2,594.29m²
total 3,569.86m²

new Essex building

level 1 842.86m²
level 2 743.19m²
level 3 565.30m²
level 4 707.29m²
level 5 711.22m²
total 3,569.86m²
ex. and prop. GFA= 6,164.15m²
ex. and prop. FSR= 118:1



01 site and roof
1:200

scale: 1:200 @A1

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Scale: 1:200 @ A1

Project No:
1851.15

Drawing No: **DA02** Amendment#: **10**

Site & Roof Plan

Legend (floor plans)
note: drawing may not contain all items listed below

acc accessible
ac air conditioner unit
acs air conditioner screen
amb ambulant
ar awning roof
bal balustrade
bit bitumen (asphaltic concrete)
bg box gutter
bol bollard
cft ceramic floor tile
cf court fence
col column
comms communication cabinet
conc concrete
cpt carpet
dd dish drain
dp downpipe
eab extruded aluminum beam
edb electrical distribution box
esk electrical substation kiosk
ex existing
fe fire extinguisher
fh fire hydrant
fhr fire hose reel
f.i.p. fire indicator panel
fw floor waste
gd garage door
gr gutter
gtd grated drain
hr handrail
ht hose tap
hwu hot water unit
hyd hydrant
kr kerb ramp
lwc light weight cladding
lts landscaped trellis screen
ofc off form concrete
pav paving/ pavements
pr pergola roof
rwo rainwater outlet
rwt rainwater tank
sb sandstone block
sl skylight/ rooflight
sf security fence
sr stair
srw structural retaining wall
st store
sv sheet vinyl
swp storm water pit
tf timber floor

extent of proposed work
new landscaping
new synthetic grass
new hard surface playing court
existing trees to be retained

note:
1. tactile indicators to all new stairs and ramps as required.

01 basement 1 floor plan
1:200

0 2000 4000 6000 8000 10000 20000
scale: 1:200 @A1



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Scale: 1:200 @ A1

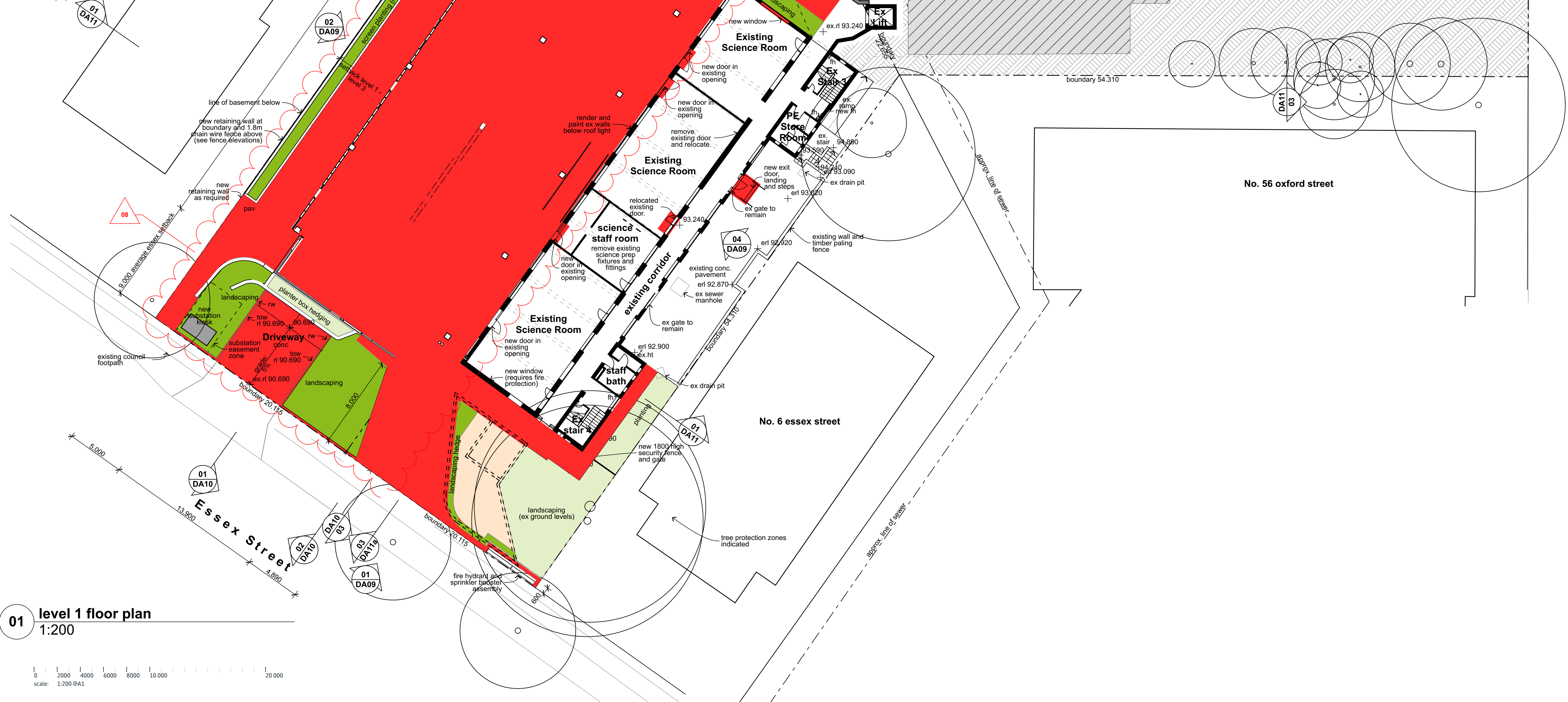
Project No;
1851.15

Drawing No;
DA03
Amendment#;
09

Basement 1 Floor Plan

- Legend (floor plans)**
note: drawing may not contain all items listed below
- acc accessible
 - ac air conditioner unit
 - acs air conditioner screen
 - amb ambulant
 - ar awning roof
 - bal balustrade
 - bit bitumen (asphaltic concrete)
 - bg box gutter
 - bol bollard
 - cft ceramic floor tile
 - cf court fence
 - col column
 - comms communication cabinet
 - conc concrete
 - cpt carpet
 - dd dish drain
 - dp downpipe
 - eab extruded aluminum beam
 - edb electrical distribution box
 - esk electrical substation kiosk
 - ex existing
 - fe fire extinguisher
 - fh fire hydrant
 - fhr fire hose reel
 - f.i.p. fire indicator panel
 - fw floor waste
 - gd garage door
 - gr gutter
 - gtd grated drain
 - hr handrail
 - ht hose tap
 - hwu hot water unit
 - hyd hydrant
 - kr kerb ramp
 - lwc light weight cladding
 - lts landscaped trellis screen
 - ofc off form concrete
 - pav paving/ pavements
 - pr pergola roof
 - rwo rainwater outlet
 - rwt rainwater tank
 - sb sandstone block
 - sl skylight/ rooflight
 - sf security fence
 - sr stair
 - srw structural retaining wall
 - st store
 - sv sheet vinyl
 - swp storm water pit
 - tf timber floor
- extent of proposed work
■ new landscaping
■ new synthetic grass
■ new hard surface playing court
- existing trees to be retained

note:
1. tactile indicators to all new stairs and



01 level 1 floor plan
1:200

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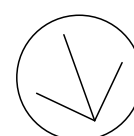
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Project No;
1851.15

Drawing No;
DA04

Amendment#;
08

Level 1 Floor Plan

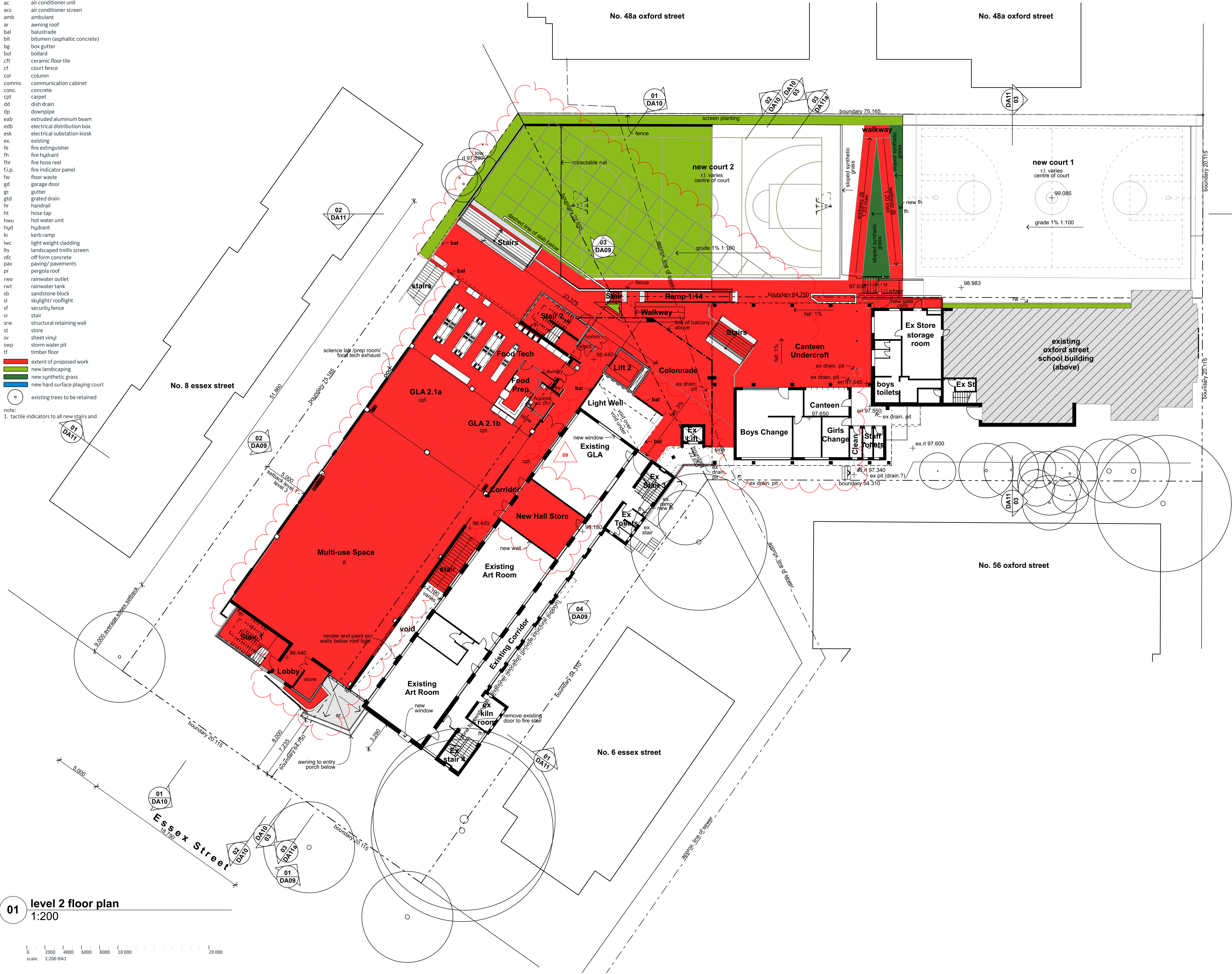
Legend (floor plans)
note: drawing may not contain all items listed below

- acc accessible
- ac air conditioner unit
- acs air conditioner screen
- amb ambulant
- ar awning roof
- bal balustrade
- bit bitumen (asphaltic concrete)
- bg box gutter
- bol bollard
- cft ceramic floor tile
- cf court fence
- col column
- comms communication cabinet
- conc concrete
- cpt carpet
- dd dish drain
- dp downpipe
- eab extruded aluminum beam
- edb electrical distribution box
- esk electrical substation kiosk
- ex existing
- fe fire extinguisher
- fh fire hydrant
- fhr fire hose reel
- f.i.p. fire indicator panel
- fw floor waste
- gd garage door
- gr gutter
- gtd grated drain
- hr handrail
- ht hose tap
- hwu hot water unit
- hyd hydrant
- kr kerb ramp
- lwc light weight cladding
- lts landscaped trellis screen
- ofc off form concrete
- pav paving/ pavements
- pr pergola roof
- rwo rainwater outlet
- rwt rainwater tank
- sb sandstone block
- sl skylight/ rooflight
- sf security fence
- sr stair
- srw structural retaining wall
- st store
- sv sheet vinyl
- swp storm water pit
- tf timber floor

■ extent of proposed work
■ new landscaping
■ new synthetic grass
■ new hard surface playing court

○ existing trees to be retained

note:
1. tactile indicators to all new stairs and



01 level 2 floor plan
1:200

0 2000 4000 6000 8000 10000 20000
scale: 1:200 @A1

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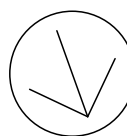
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08	Re-issued for Section 4.55	27/09/18
09	Re-issued for Section 4.55	01/10/18

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Arden Anglican School

New School Facilities

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Project No;
1851.15

Drawing No;
DA05

Amendment#;
09

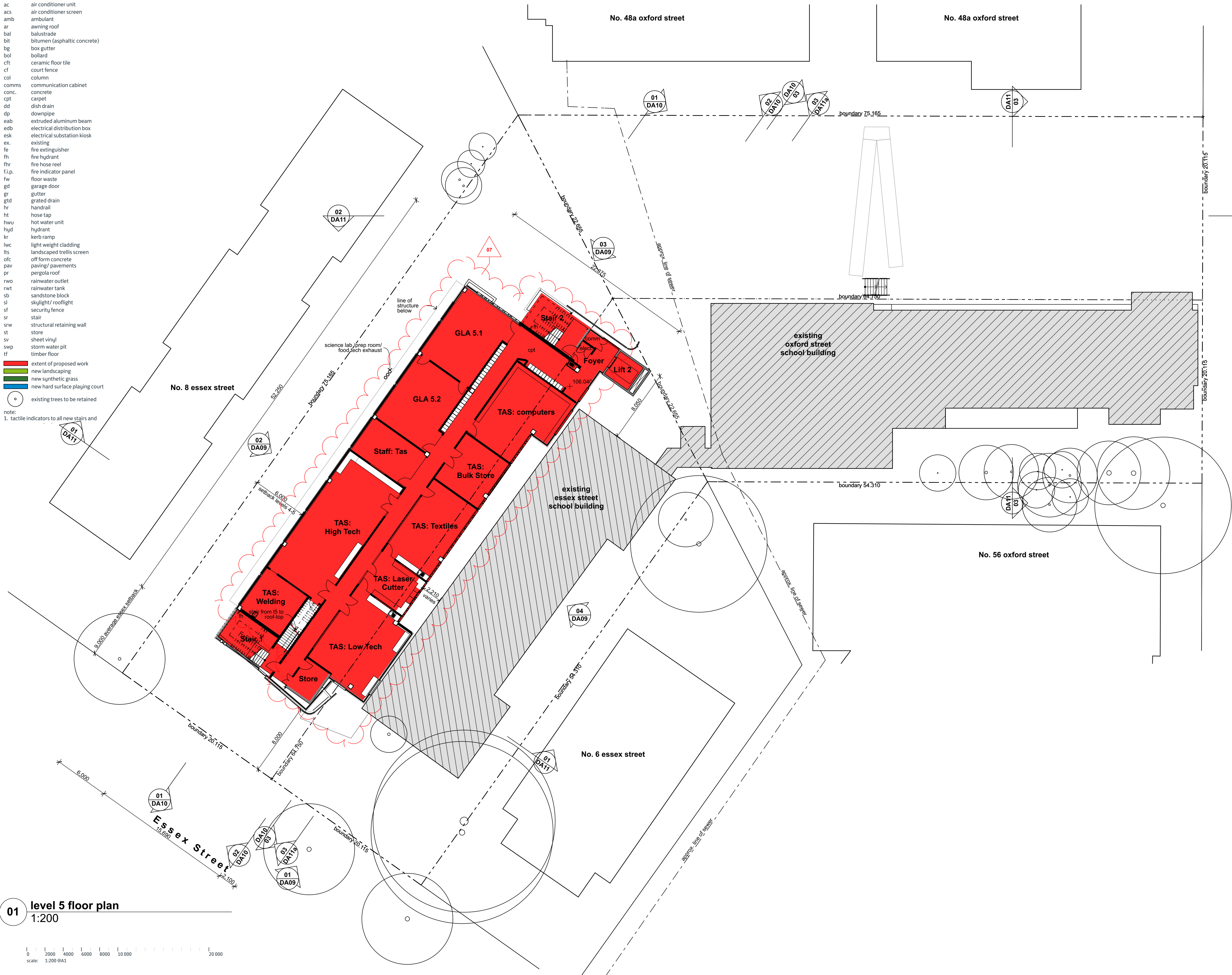
Level 2 Floor Plan

- Legend (floor plans)**
note: drawing may not contain all items listed below
- acc accessible
 - ac air conditioner unit
 - acs air conditioner screen
 - amb ambulant
 - ar awning roof
 - bal balustrade
 - bit bitumen (asphaltic concrete)
 - bg box gutter
 - bol bollard
 - cft ceramic floor tile
 - cf court fence
 - col column
 - comms communication cabinet
 - conc concrete
 - cpt carpet
 - dd dish drain
 - dp downpipe
 - eab extruded aluminum beam
 - edb electrical distribution box
 - esk electrical substation kiosk
 - ex existing
 - fe fire extinguisher
 - fh fire hydrant
 - fhr fire hose reel
 - f.i.p. fire indicator panel
 - fw floor waste
 - gd garage door
 - gr gutter
 - gtd grated drain
 - hr handrail
 - ht hose tap
 - hwu hot water unit
 - hyd hydrant
 - kr kerb ramp
 - lwc light weight cladding
 - lts landscaped trellis screen
 - ofc off form concrete
 - pav paving/ pavements
 - pr pergola roof
 - rwo rainwater outlet
 - rwt rainwater tank
 - sb sandstone block
 - sl skylight/ rooflight
 - sf security fence
 - sr stair
 - srw structural retaining wall
 - st store
 - sv sheet vinyl
 - swp storm water pit
 - tf timber floor
- extent of proposed work
■ new landscaping
■ new synthetic grass
■ new hard surface playing court
- existing trees to be retained

note:
1. tactile indicators to all new stairs and

01 level 5 floor plan
1:200

0 2000 4000 6000 8000 10 000 20 000
scale: 1:200 @A1



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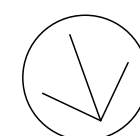
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07	Re-issued for Section 4.55	01/10/18

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Project No;
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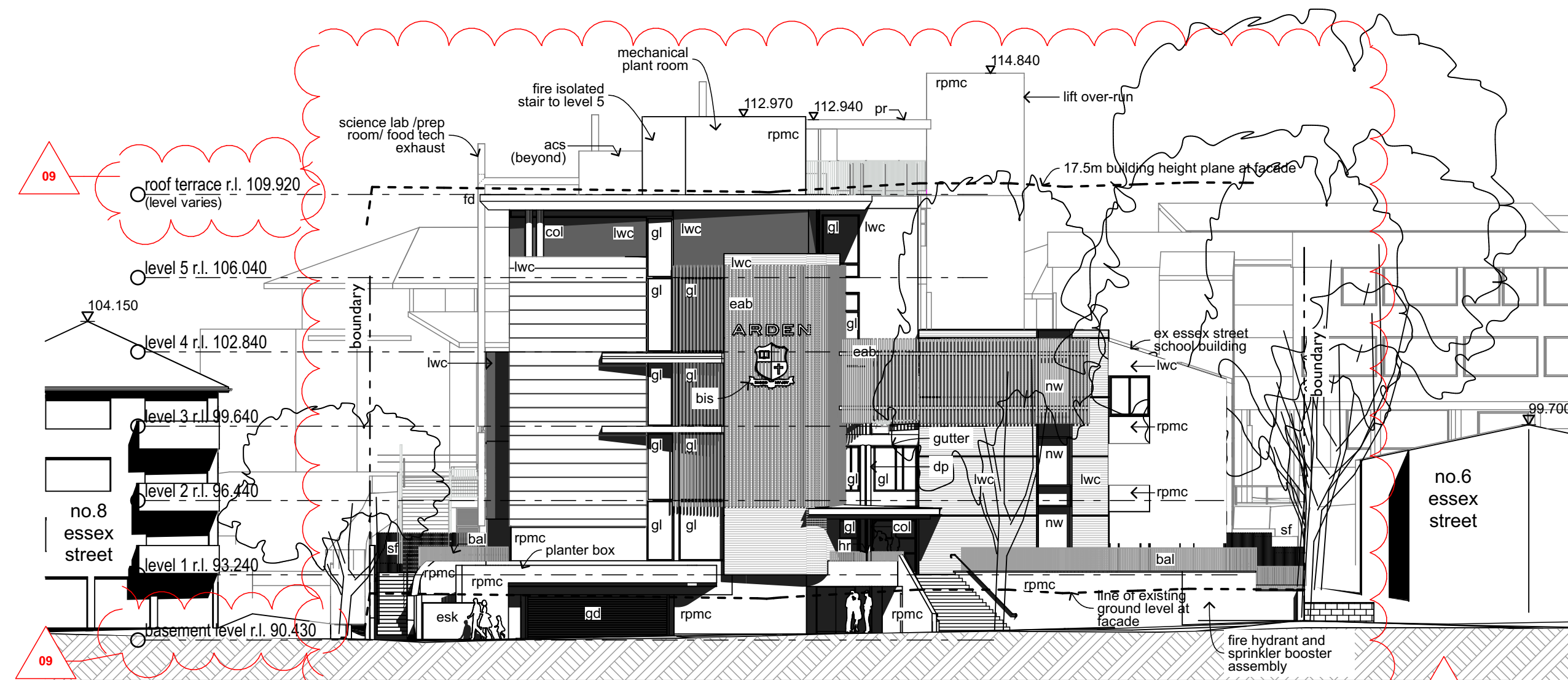
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DA08

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Level 5 Floor Plan

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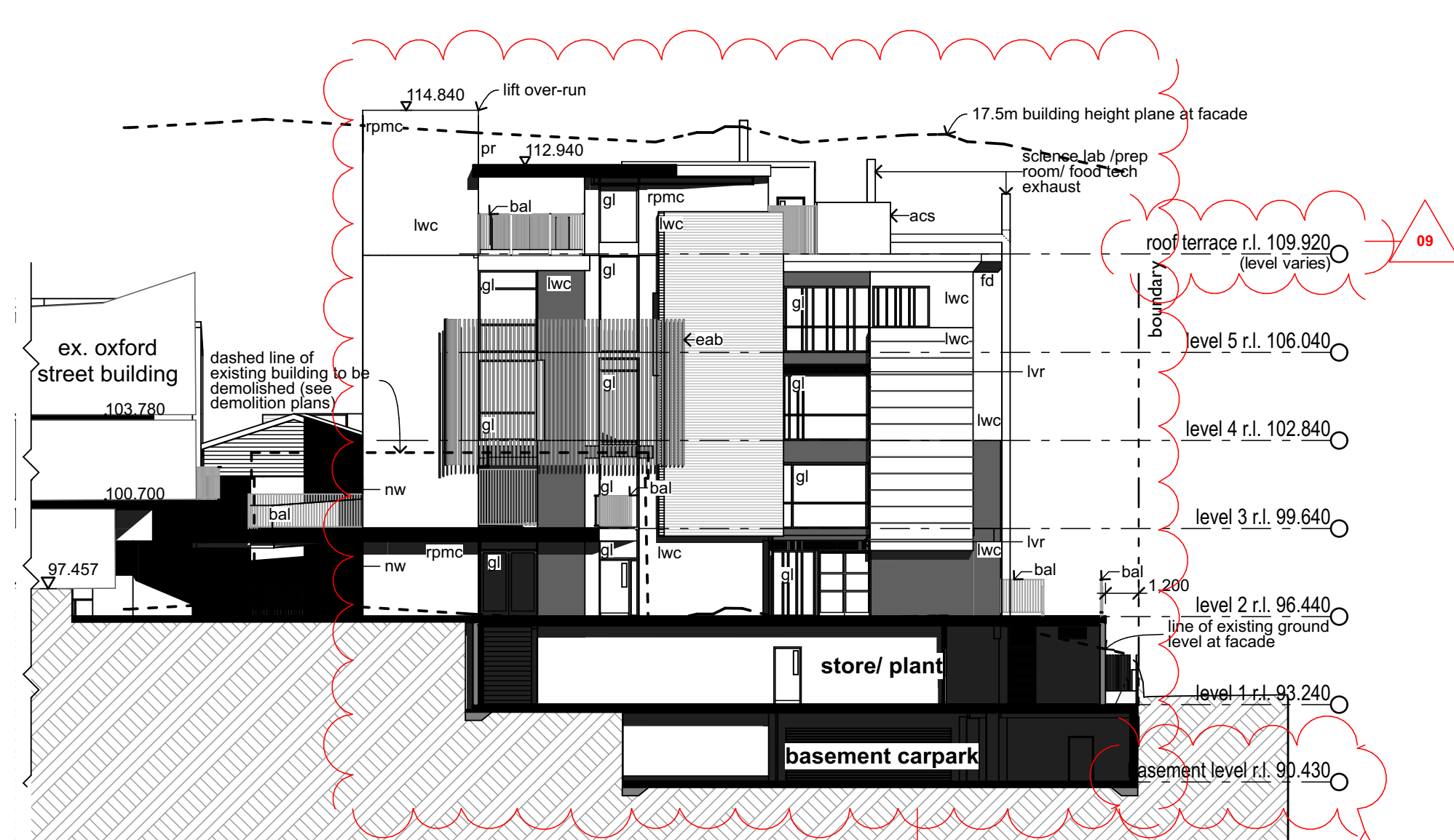
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09	Re-issued for Section 4.55	16/10/18



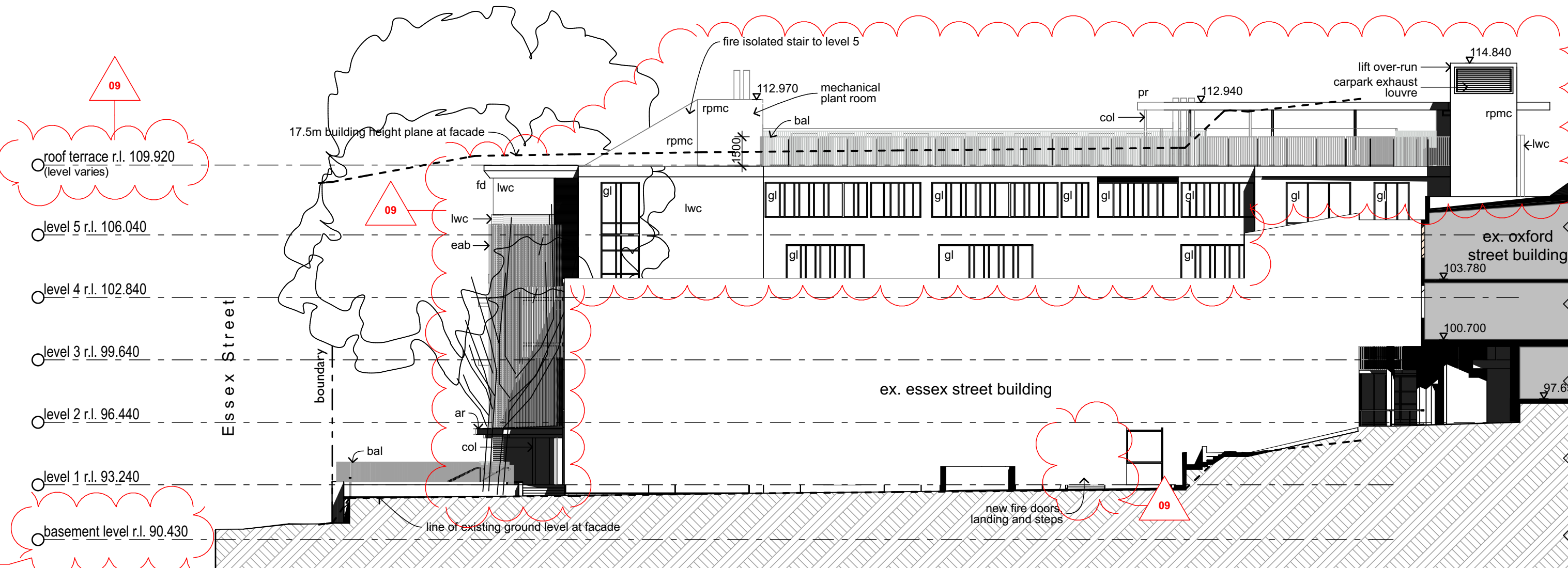
01 elevation 1 Essex Street
1:200



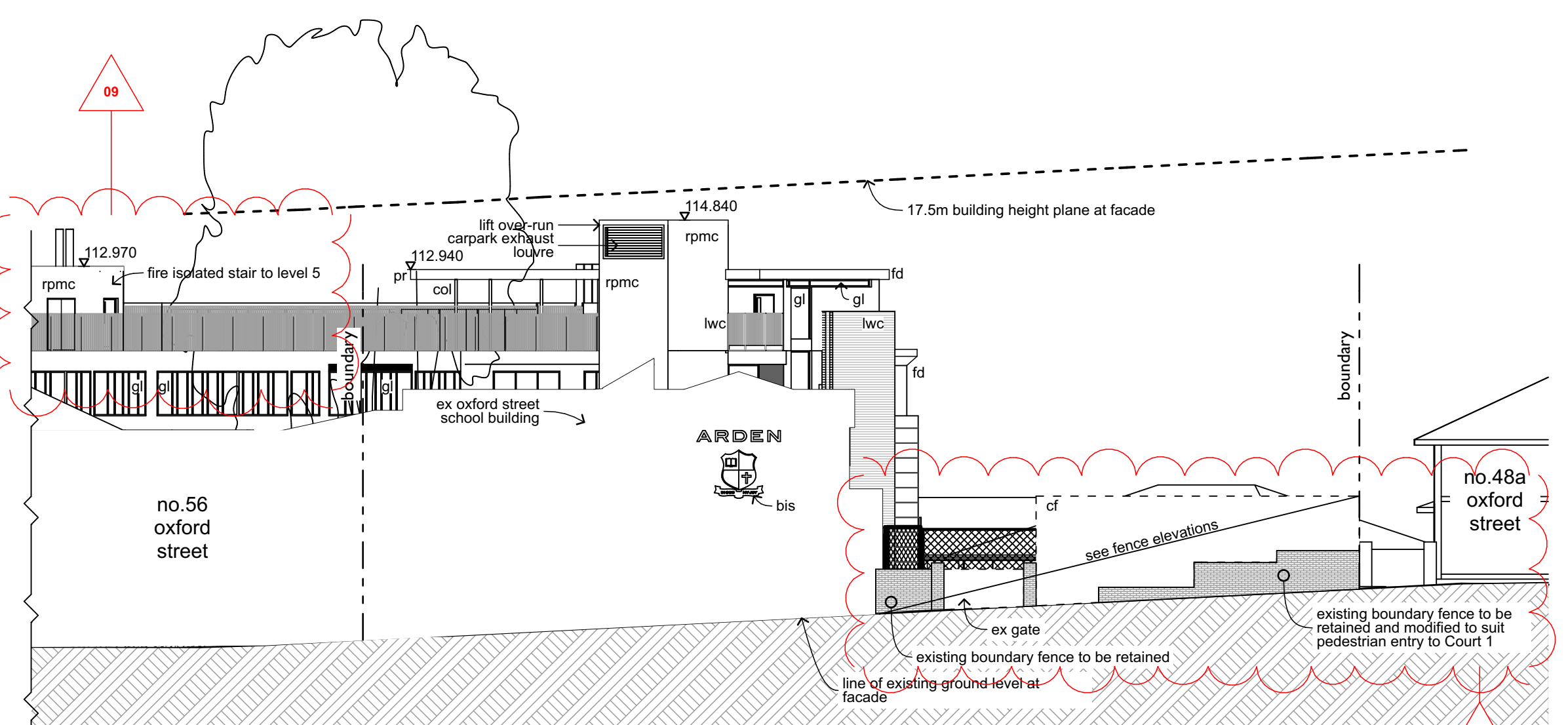
02 elevation 2
1:200



03 elevation 3
1:200



04 elevation 4
1:200



05 elevation 5 Oxford Street
1:200

0 2000 4000 6000 8000 10000 20000
scale: 1:200 @A1

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New School Facilities
50 Oxford Street,
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Drawn: CM
Checked: SE
Plot date: 16/10/18

Scale: 1:200 @ A1

Project No:
1851.15

Drawing No:
DA09

Amendment#:
09

Elevations

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Project No;
1851.15

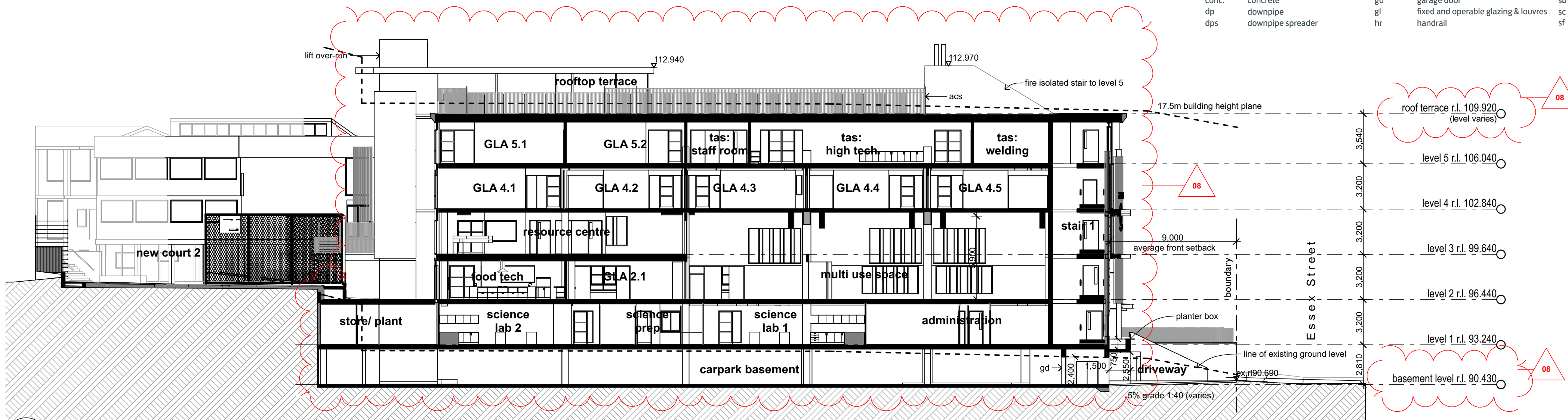
Drawing No; Amendment#;
DA10 08

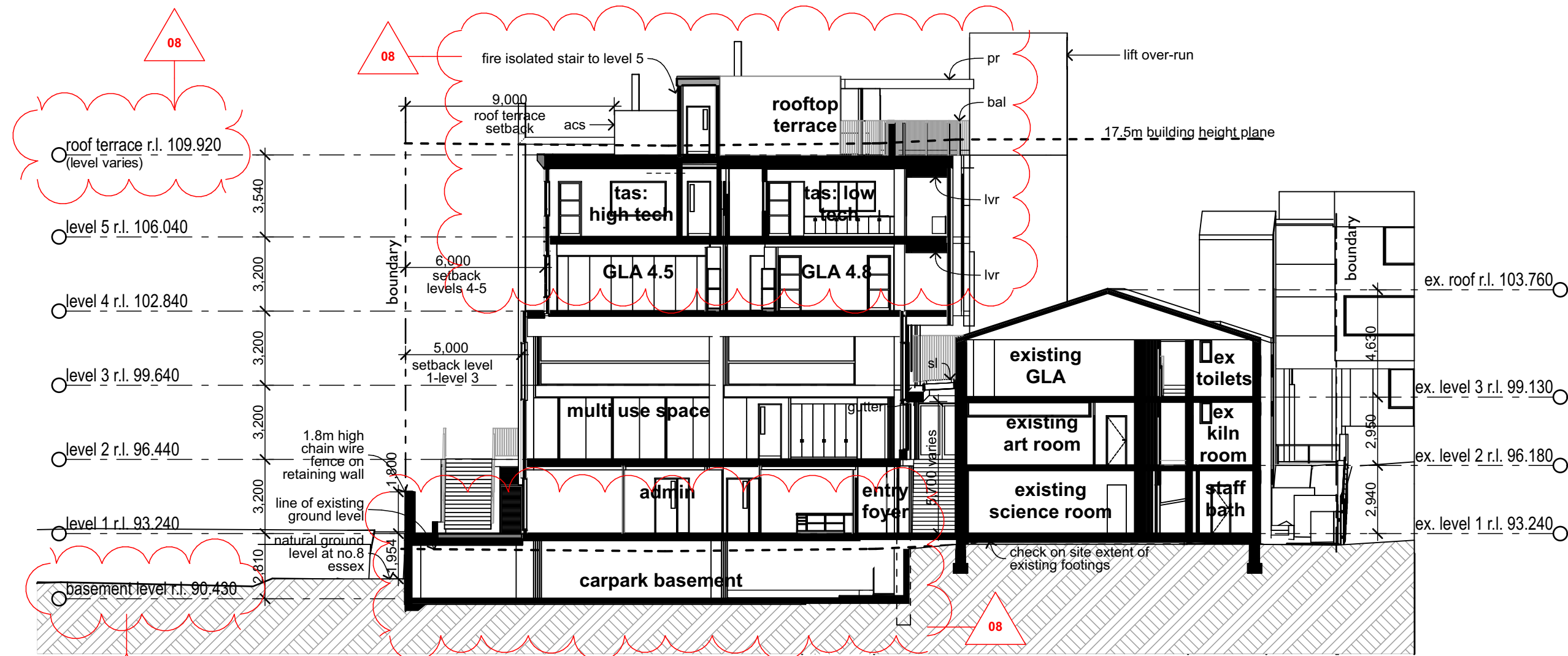
Sections Sheet 1

Legend (elevation & sections)
note: drawing may not contain all items listed below

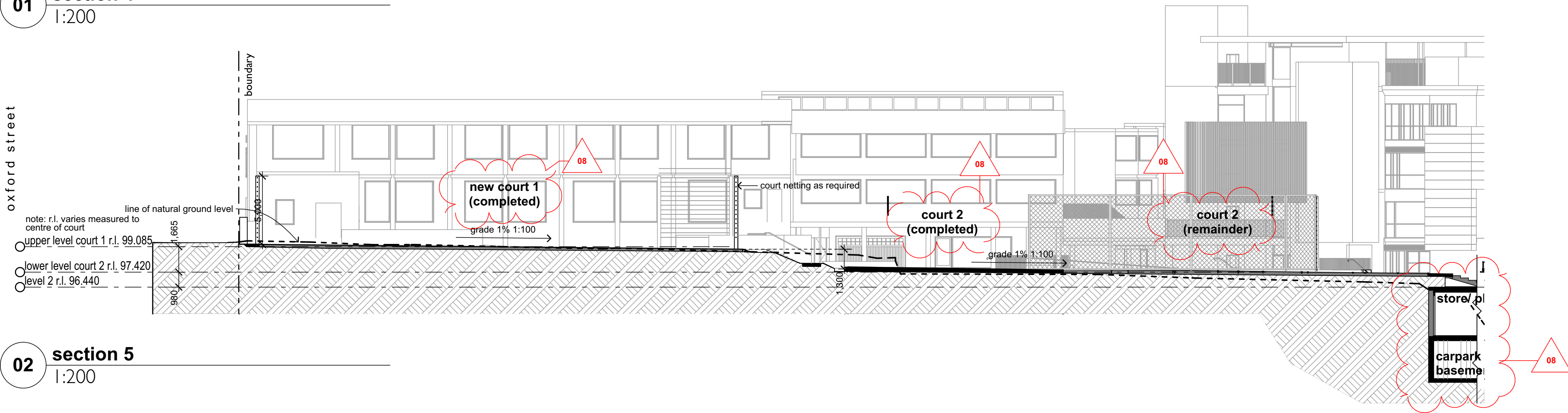
ar	awning roof	eab	extruded aluminum beam
ac	air conditioner condenser	eg	eaves gutter
acs	air conditioner screen	egl	existing ground line
alv	adjustable louvres	esk	electrical substation kiosk
bal	balustrade	ex	existing
bg	box gutter	fcl	finished ceiling level
bis	business identification sign	fd	fascia detail
cfc	compressed fibre cement	flf	finished floor level
conc.	concrete	flv	fixed louvres
dp	downpipe	gd	garage door
dps	downpipe spreader	gl	fixed and operable glazing & louvres
		hr	handrail

lwc	landscaped trellis screen	sl	skylight/ rooflight
lvr	light weight cladding	srw	structural retaining wall
nw	new window (in existing wall)		existing trees (indicative only)
olv	operable louvres		
pr	pergola roof		
rc	rendered concrete		
rpmc	rendered/ painted/ masonry/ concrete		
rwh	rainwater head		
sb	sandstone block		
sc	steel column		
sf	security fence		

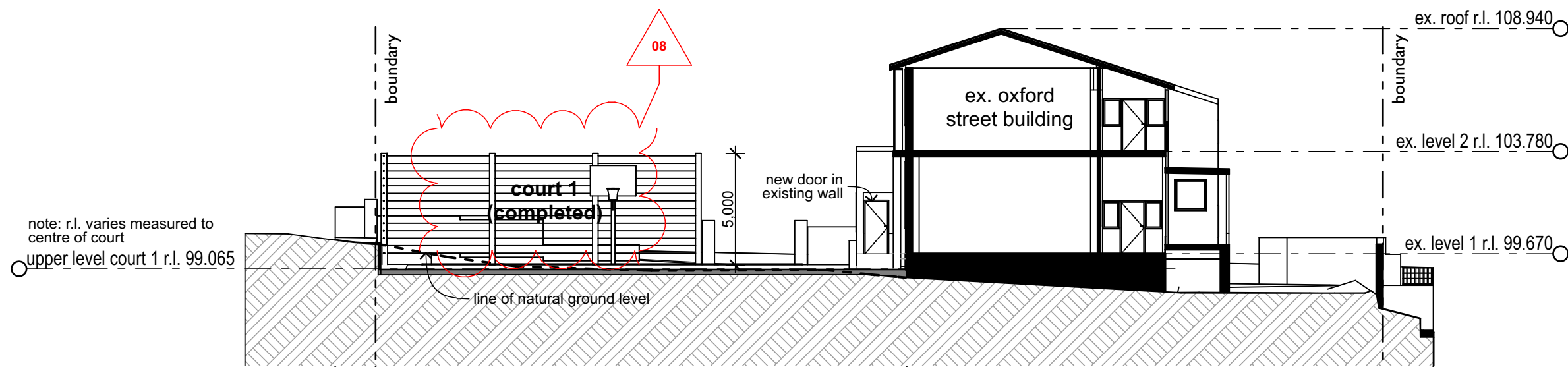




01 section 4
1:200



02 section 5
1:200



03 section 6
1:200

Legend (elevation & sections)			
note: drawing may not contain all items listed below		eab	extruded aluminum beam
ar	awning roof	eg	eaves gutter
ac	air conditioner condenser	egl	existing ground line
acs	air conditioner screen	esk	electrical substation kiosk
alv	adjustable louvres	ex.	existing
bal	balustrade	fcl	finished ceiling level
bg	box gutter	fd	fascia detail
bis	business identification sign	ffl	finished floor level
cfc	compressed fibre cement	flv	fixed louvres
conc.	concrete	gd	garage door
dp	downpipe	gl	fixed and operable glazing & louvres
dps	downpipe spreader	hr	handrail
		lwc	landscaped trellis screen
		lvr	light weight cladding
		nw	new window (in existing wall)
		olv	operable louvres
		pr	pergola roof
		rc	rendered concrete
		rpmc	rendered/ painted/ masonry/ concrete
		rwh	rainwater head
		sb	sandstone block
		sc	steel column
		sf	security fence
		sl	skylight/ rooflight
		srw	structural retaining wall
			existing trees (indicative only)

Stanton Dahl & Associates Pty Limited ABN 32 902 762 796 Nominated Architects
G.P. Stanton 18/42, E.C. Patterson 63/36, D.C. Meehan 786/4, S.M. Evans 7686
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All dimensions to be verified on site and any discrepancies referred to architect for determination.
figured dimensions to take precedence over scaled dimensions.

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Rev	Issue	Date
01	Draft Issue to Town Planner	23/12/16
02	Development Application Issue	02/02/17
03	Issued to Council with revisions	14/08/17
04	Issued to Council with s96 revisions	09/07/18
05	Issue for Section 4.55	18/09/18
06	Final issue for Section 4.55	24/09/18
07	Re-issued for Section 4.55	27/09/18
08	Re-issued for Section 4.55	16/10/18

Architecture
Project management
Access consulting
Interior design



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architects

Arden Anglican School

New School Facilities

50 Oxford Street,
Epping, NSW

Drawn; CM
Checked; SE
Plot date; 16/10/18

Scale; 1:200 @ A1

Project No;
1851.15

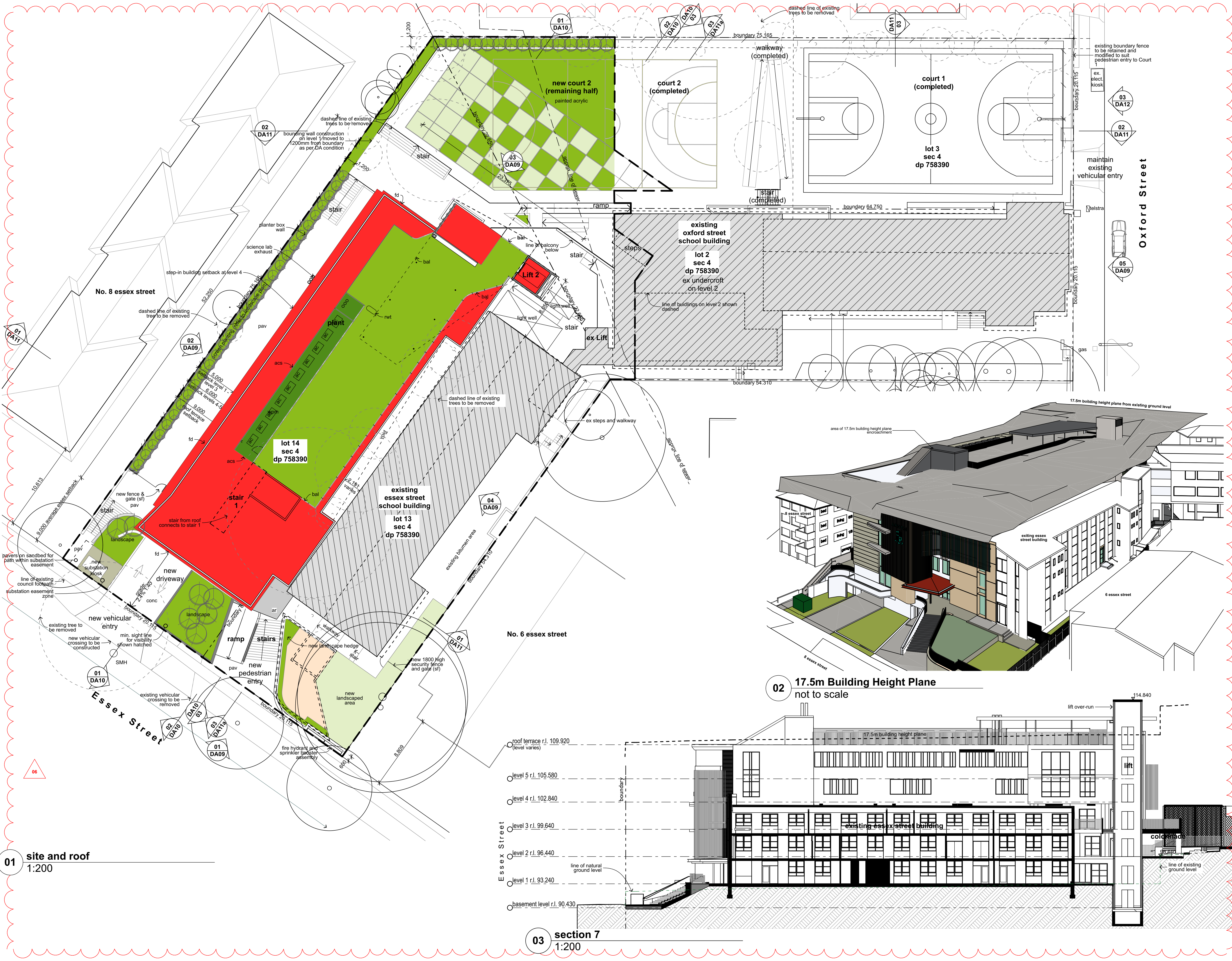
Drawing No;
DA11

Amendment#;
08

Sections Sheet 2

17.5 building height plane
moved to DA11a

0 2000 4000 6000 8000 10000 20000
scale: 1:200 @A1



All dimensions to be verified on site and any discrepancies referred to architect for determination, figured dimensions to take precedence over scaled dimensions.
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Plot date; 16/10/18

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Project No;
1851.15

Drawing No;
DA11a

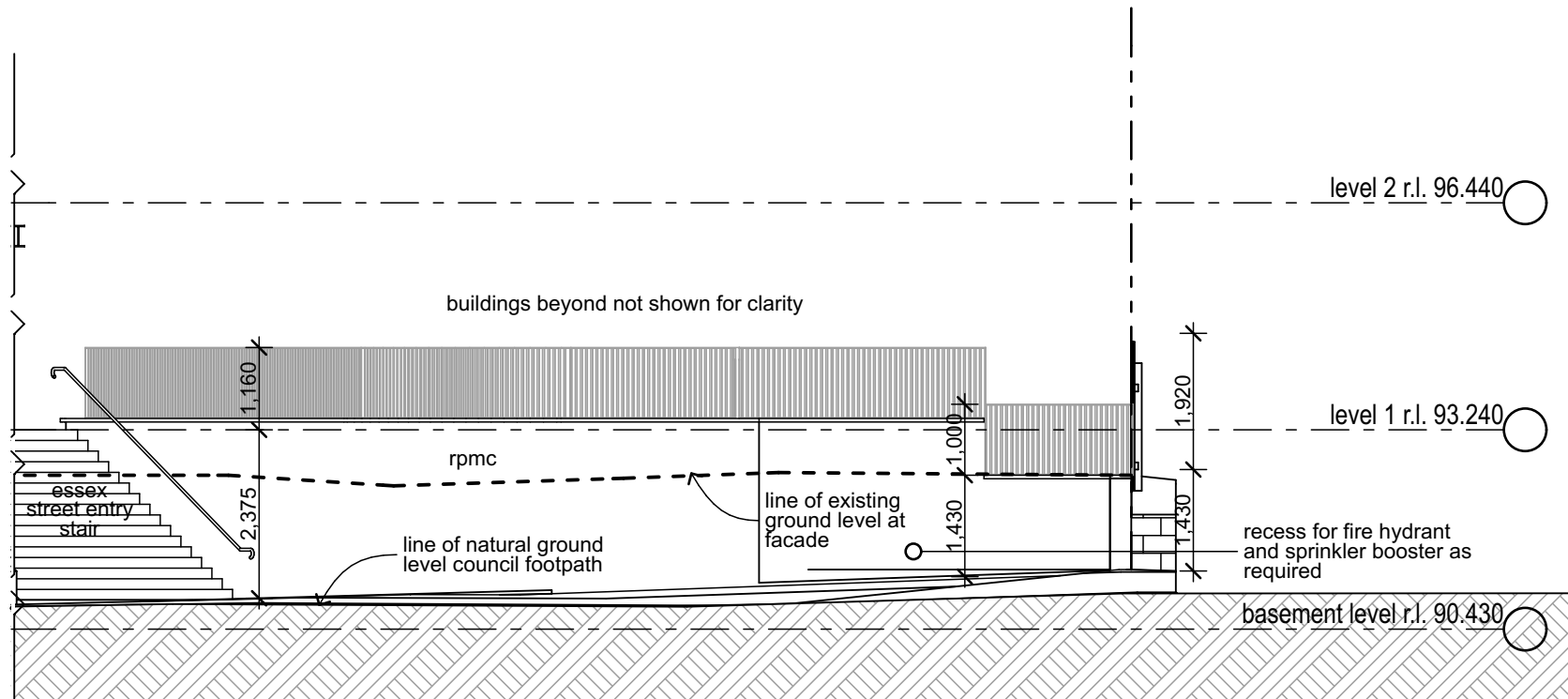
Amendment#;
06

Building Height Plane
Representation

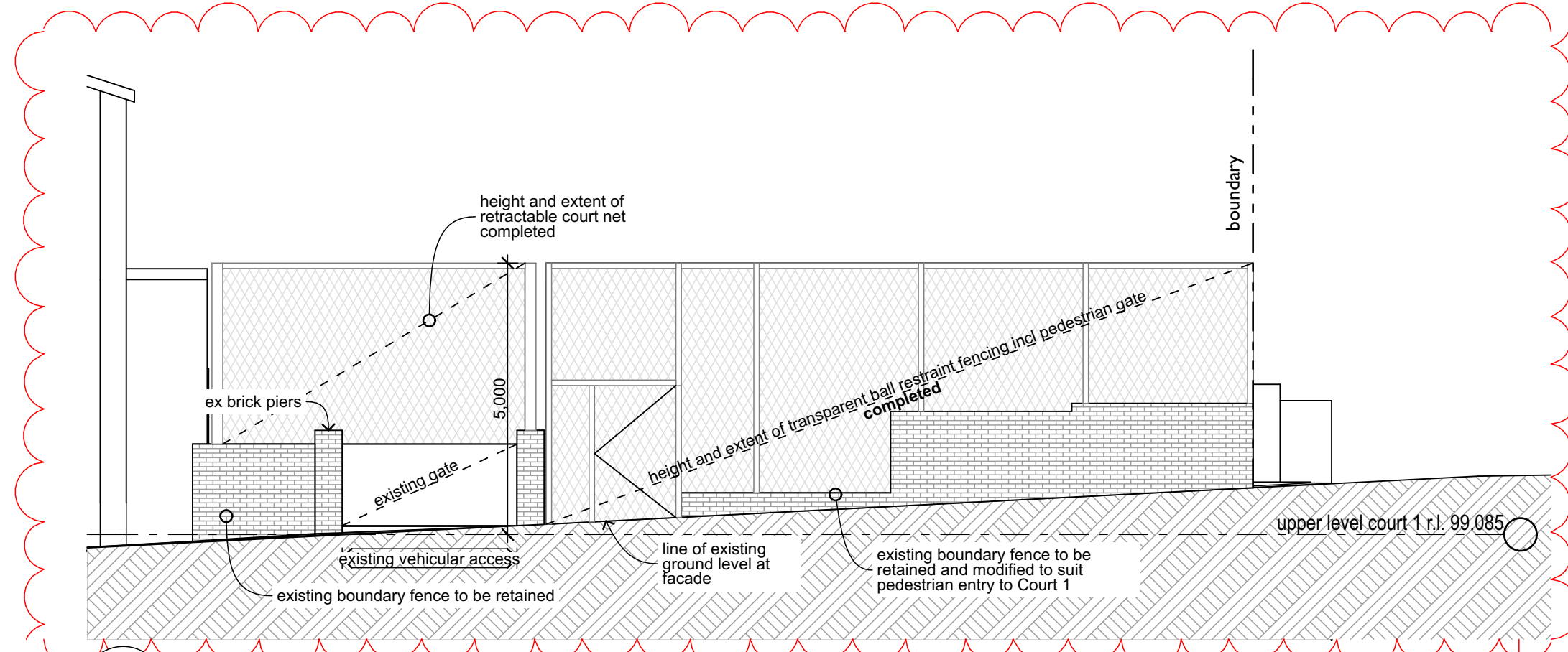
All dimensions to be verified on site and any discrepancies referred to architect for determination. figured dimensions to take precedence over scaled dimensions.

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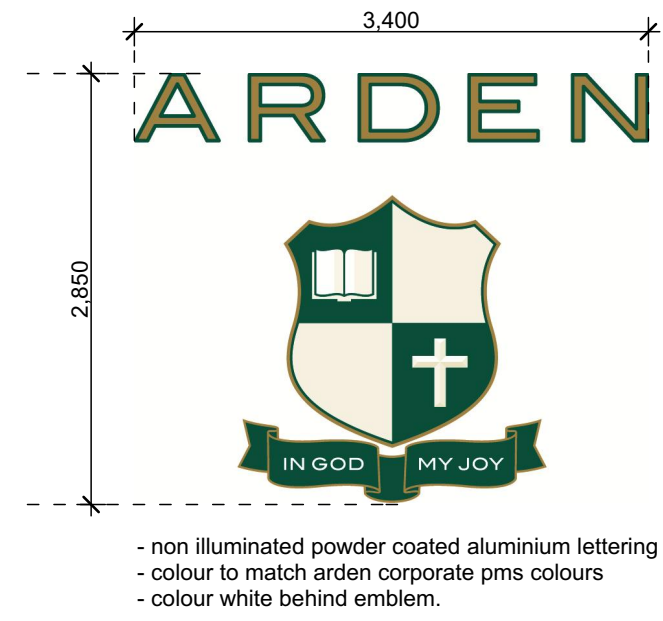
Rev	Issue	Date
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07	Re-issued for Section 4.55	27/09/18
08	Re-issued for Section 4.55	01/10/18



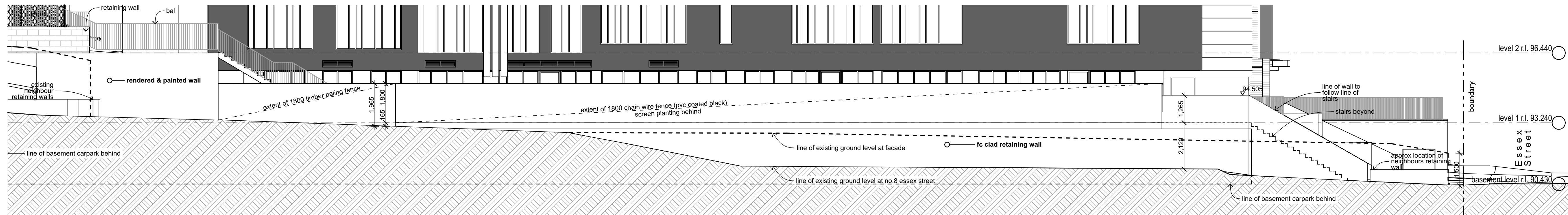
01 fence elevation 1
1:100



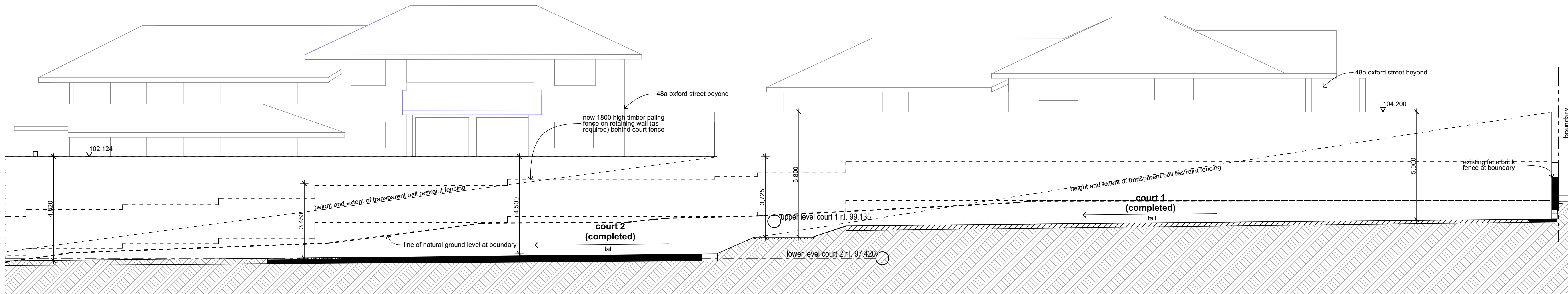
03 fence elevation 3
1:100



05 business identification sign
1:50



02 fence elevation 2
1:100



04 fence elevation 4
1:100

0 1000 2000 3000 4000 5000 10 000
scale: 1:100 @A1

Architecture
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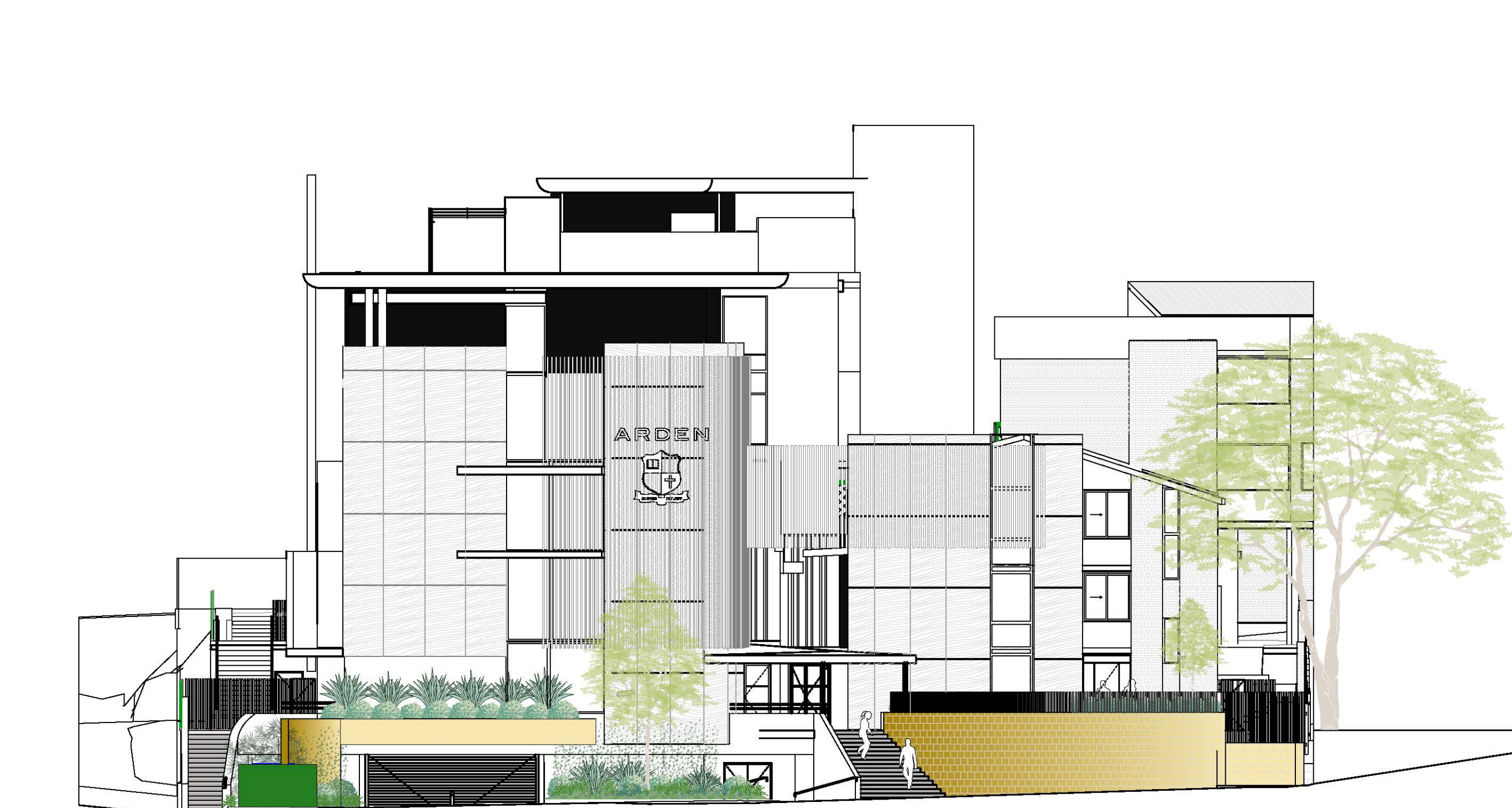
Drawn; CM
Checked; SE
Plot date; 2/10/18

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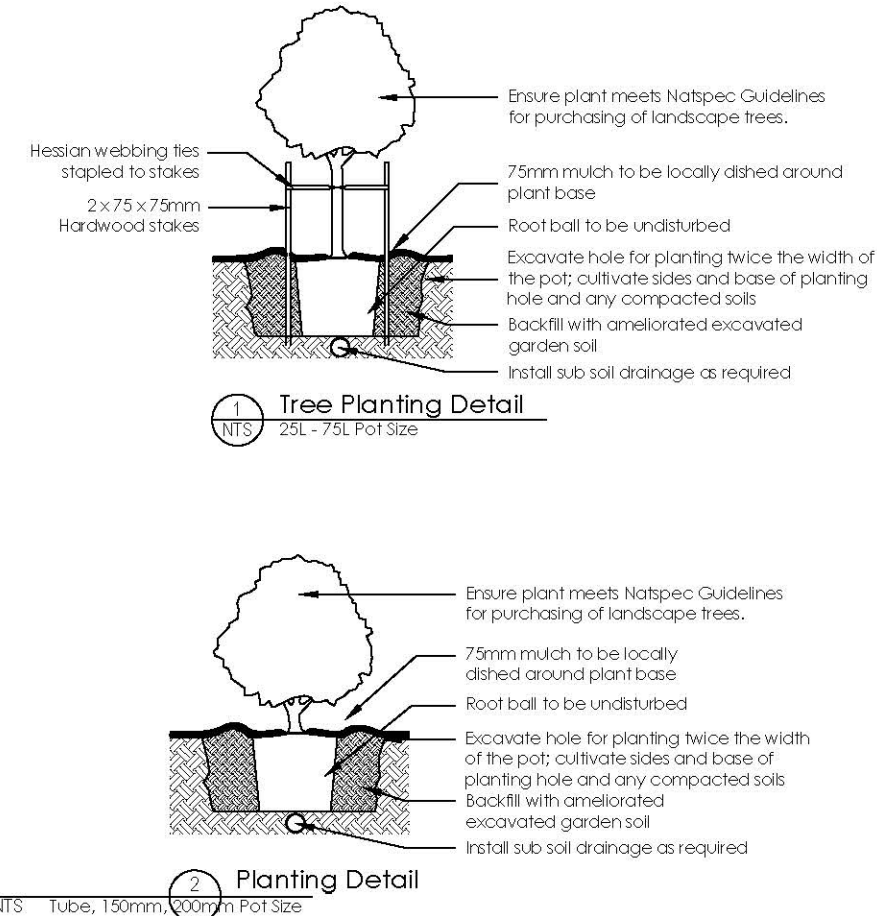
Project No;
1851.15

Drawing No; DA12
Amendment#; 08

Fence and Signage
Elevations

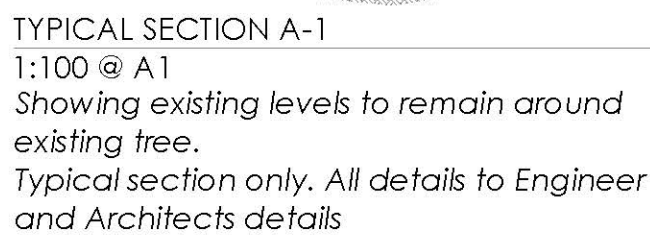


SYMBOL	BOTANICAL NAME	COMMON NAME	QUANTITY	POT SIZE	MATURE SIZE
Ac	<i>Alpinia caerulea</i> 'Atherton'	Red Native Ginger	10	300mm	2m
Aj	<i>Ajuga reptans</i> 'Cattins Giant'	Bug Weed	58	140mm	0.3m
Btg	<i>Bambusa textilis</i> var. <i>Gracilis</i>	Slender Weaver's Bamboo	117	45L	6-8m
Csr	<i>Corymbia</i> 'Summer Red'	Red Flowering Gum	1	100L	5m
Cob	<i>Convolvulus mauritanicus</i>	Convolvulus	20	140mm	0.15m
De	<i>Doranthus excelsa</i> *	Gymea Lily	17	45L	2m
Dp	<i>Doranthus palmeri</i> *	Spear Lily	7	45L	3m
Li	<i>Lomandra 'Tanika'</i> *	Fine-leaved Mat Rush	77	200mm	0.5m
Mp	<i>Myoporum parvifolium</i> 'Yareena'	Yareena Creeping Boobialla	42	150mm	0.1m
Mp	<i>Muraya paniculata</i>	Orange Jessamine	29	300mm	3m
Px	<i>Philodendron 'Kanadu'</i>	Philodendron	16	200mm	0.5m
Sc	<i>Syzygium 'Cascade'</i> *	Weeping Lily Pilly	18	300mm	5m
Til	<i>Tristanopsis laurina</i> 'Luscious'	Luscious Water Gum	1	100L	7-12m
Vh	<i>Viola hederacea</i> *	Native Violet	12	150mm	0.1m
Vg	<i>Westringia fruticosa</i> 'Wynnybble Gem'	Coast Rosemary	64	300mm	1.5m
Wm	<i>Westringia fruticosa</i> 'Mundi'	Dwarf Coast Rosemary	9	200mm	0.5m
Re	<i>Rhaps excelsa</i>	Lady Palm	1	400mm	3m



A horizontal strip of nine small images showing various plants: purple flowers, a green hedge, a red flower with a blue butterfly, a green plant, a grassy area, a green plant, a green plant, a green plant, and a green plant.

REVISION	DESCRIPTION	ISSUED	CHECK	DATE	PROJECT	DATE	TIME	BY	REVISION	
A	SUBMITTED TO CLIENT FOR COMMENT	CC	MD	12-04-18	<div><p>pro-bow 8134 boadwalk rd new 2103 unit 1/2 2 geoffrione road crows nest new 2154 02 9680 7712 www.ecodesign.com.au Member of Australia Institute of Landscape Architects</p></div>	SCHOOL FACILITIES STAGE 2&3				
B	CURRENT LANDSCAPE DESIGN - FOR COMMENT	MD	MD	09-05-18		50 OXFORD STREET, EPPING				
C	70% TENDER COGS - FOR COMMENT	MD	MD	11-08-18		LANDSCAPE PLAN				
D	PLANT QUANTITIES ADDED - FOR COSTING & COMMENT	MD	MD	15-08-18		<div><div>DATE</div><div>TIME</div><div>BY</div></div> <div><div>1:150 @ A1</div><div>54.55(2)</div><div>L - 01</div></div>				
E	REVISED TO REFLECT CURRENT ARCHITECTURALS - 54.55(2)	CC	MD	03-10-18		ARDEN ANGLICAN SCHOOL				
F	REVISED OSO AREA TO CURRENT ARCHITECTURALS - 54.55(2)	CC	MD	04-10-18	<div><div>DATE</div><div>TIME</div><div>BY</div></div> <div><div>MD</div><div>04-10-18</div><div>F</div></div>					



REVISION				DESCRIPTION				DRAWING				CHECKED				DATE				PROJECT				SCHOOL FACILITIES STAGE 2&3							
A	SUBMITTED TO CLIENT FOR COMMENT							OC	MD	13-04-18		 pro box 6136 boakhills hls new 2153 unit 41 & 42 graham road coffs harbour 2154 02 9830 7122 www.ecodesign.com.au Interior & Exterior Interiors & Landscapes Australia				50 OXFORD STREET, EPPING				<div>DATE</div> <div>1:100 @ A1</div> <div>SCALE</div> <div>\$4,55(2)</div> <div>UNIT</div> <div>L - 02</div>				<div>DATE</div> <div>04-10-18</div> <div>REVISION</div> <div>F</div>							
B	CURRENT LANDSCAPE DESIGN - FOR COMMENT							OC	MD	09-05-18																					
C	70% TENDER DOCS - FOR COMMENT							OC	MD	11-05-18																					
D	PLANT QUANTITIES ADDED - FOR COSTING & COMMENT							OC	MD	15-05-18																					
E	REVISED TO REFLECT CURRENT ARCHITECTURAL - \$4,55(2)							OC	MD	03-10-18																					
F	REVISED OVER AREA TO CURRENT ARCHITECTURAL - \$4,55(2)							OC	MD	04-10-18		1. Do not scale from drawings 2. Verify all measurements on site 3. Notify eCODESIGN of any site discrepancies 4. Copyright the eCODESIGN. All rights reserved 5. Drawing remains the property of eCODESIGN				6. All work to comply with relevant Australian Standards or Building Code of Australia 7. All work to be performed by a suitably qualified landscape architect 8. For application purposes only - NOT FOR CONSTRUCTION															
												CLIENT				ARDEN ANGLIAN SCHOOL															